



Building Division

209 Pearl Street

Council Bluffs, IA 51503

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Residential One Story Detached Accessory Structure

Please note: This guide is intended for use as a reference along with the 2015 International Residential Code. It may be used for basic plan submittal however additional information may be required as it pertains to individual projects.

To Use this Guide

1. **Review required specifications and follow all directions.**
2. **Provide two (2) sets of Elevation, Cross-Section and Floor Plan Drawings.**
 - Cross-Section drawing (side, cutaway drawing) showing the details of the footings, foundation, beam sizes, wall and roof construction.
 - Floor Plans indicating the length and width of the structure, interior walls, any plumbing/heating/electrical equipment, use of structure (car storage etc.), window/door locations, stairs (storage access), and header sizes.
 - Elevation Drawings (exterior views) of front, rear and sides of finished building. Indicate the height from finished grade to the top of the side walls and roof peak.
3. **Fill out a building permit application.**
 - The majority of permit applications are processed within 3-5 working days. The submitted documents will help determine if the project is in compliance with building safety codes, zoning ordinances and other applicable laws.
 - **Note:** If you hire a contractor to construct your shed/carport/garage, the contractor must be licensed by the City of Council Bluffs to apply for the building permit. If you are acting as the General Contractor, please remember that if you hire any subcontractors, they too must be licensed.

INCOMPLETE PLANS AND/OR APPLICATIONS WILL NOT BE ACCEPTED

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General Notes:

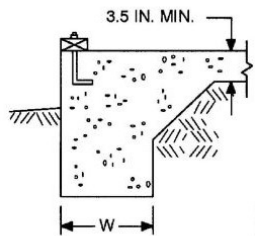
- **Structure Size** - A building permit is required for any detached accessory structures, *such as garages, carports or sheds*, having a floor area of 120 square feet or more. A permit is required even if the structure is prefabricated.
- **Zoning** – Additional zoning requirements, such as building height, setbacks and lot coverage may affect your project. Please contact the Community Development Department at (712) 328-4629 to speak with a zoning representative.
- **Fire Separation** – Exterior walls are required to be fire resistance rated with a 1 hour-tested assembly in accordance with ASTM E 119 or UL 263, with exposure from both exterior and interior sides, if the distance to the property line is less than 5'.
Note: *Openings, such as doors and windows, may need to be reduced or eliminated if located where fire separation is needed. (Table R302.1)*

Exterior projections, such as roof overhangs/eaves, are required to be fire-resistance rated to 1 hour on the underside of the projection if the distance to the property line is less than 5'. **Note:** *Eave venting is not allowed if located where fire separation is needed. (Table R302.1)*

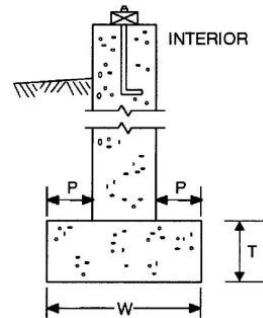
- **Drainage** - Will the existing yard drainage be affected by the location of the new building? All changes to the existing drainage must be shown on the plot plans. If large grade changes and/or slopes are proposed, retaining walls or special grading permits may be required.
 - Installed gutters/downspouts shall direct roof drainage away from the foundation and towards the public right-of-way or community storm sewer system. **Note:** *No point of discharge shall be directed towards adjacent property or structures.*
- **Floodplain** - Floodplains are usually associated with lakes, streams, rivers and drainage courses. They are areas designated to flood during times of rain. Building in these areas is strictly regulated. If your accessory structure is built in a floodplain, it may require a Structural Engineer's design, professional survey and a floodplain use permit prior to building permit approval.
- **Electrical** – Any electrical work performed is subject to the applicable provisions of the electrical code. Electrical work is subject to field inspection at the rough and final stages. **Note:** *A separate electrical permit is required.*
- **Final Inspection** - *Any detached accessory structure shall not be used or occupied until the final inspection is performed and a final inspection sticker is issued.*

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Footing/Foundation: Provide structure foundation footprint with location, size, dimensions and details for all column footings/piers.



Concrete Footing TYPE A



Concrete Footing TYPE B

- Footing **TYPE A** shall be used for structures 120 (e.g. 10' x 12' area) to 720 square feet, of light frame construction and an eave height not exceeding 10'. This footing type shall be a minimum of 12" wide (R403.1.1) and be constructed a minimum of 12" below undisturbed grade. (R403.1.4)
- Footing **TYPE B** shall be used for structures larger than 720 square feet (e.g. 24' x 30' area) and for all structures placed on slopes. This footing type shall be a minimum of 12" wide (R403.1.1) and be constructed a minimum of 42" below finished grade for frost protection (R403.1.4.1)
 - Top of footing/foundation for either type shall be a minimum of 6" above finished grade. (R404.1.6)
- **Anchoring** – Sill plates and walls supported directly on continuous foundations shall be anchored to the foundation with minimum 1/2" diameter anchor bolts. All anchor bolts shall extend a minimum of 7" into the concrete or grouted cells of masonry units. Bolts are to be located no more than 6' on center, within 12" from the end of each plate and no less than 2 per plate. Sill plates shall be treated lumber or made of wood with a natural resistance to decay. (R403.1.6)
- **Floor** – Cast in place concrete floor shall be a minimum 3 1/2" thick and may contain one of the following: Welded Wire Fabric and/or fibermesh concrete.
- **Do not construct footings over utility lines or enclosed meters. Call IOWA ONE CALL at 1-800-292-8989 before digging.**

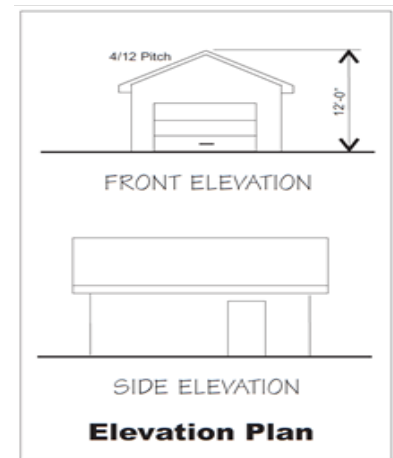
Cross-Section: Provide a drawing showing details of the footings, foundation, beam/header sizes, wall and roof construction. Include types, locations and dimensions of spans and spacing for all materials used.

- Provide details or note all required connections of columns, posts and beams.
- Provide roof sheathing type and size.
- Provide roof slope and roof covering details.
- Provide locations, types and sizes of attic roof vents. **Note:** Total net free ventilating area shall not be less than 1/150 of the area of the space ventilated.
- Show all roof features (sky-lights) with manufacturer installation specifications.
- **Pre-Manufactured Trusses** – Trusses to be designed by an Iowa State Registered Engineer. Two (2) truss packages shall be submitted with plans and shall bear the wet stamp, signature and date from the engineer. *Plans shall also be on site at time of framing inspection.*
 - Provide location and spacing of all trusses per truss drawings.
 - Truss tie downs may be required for uplift resistance. (R802.11.1.1)
- **Conventional Roof Framing** - Provide location, size and spacing for all roof joists, rafters and ridge beams. Rafter tie downs may be required for uplift resistance. (R802.11.1.2)

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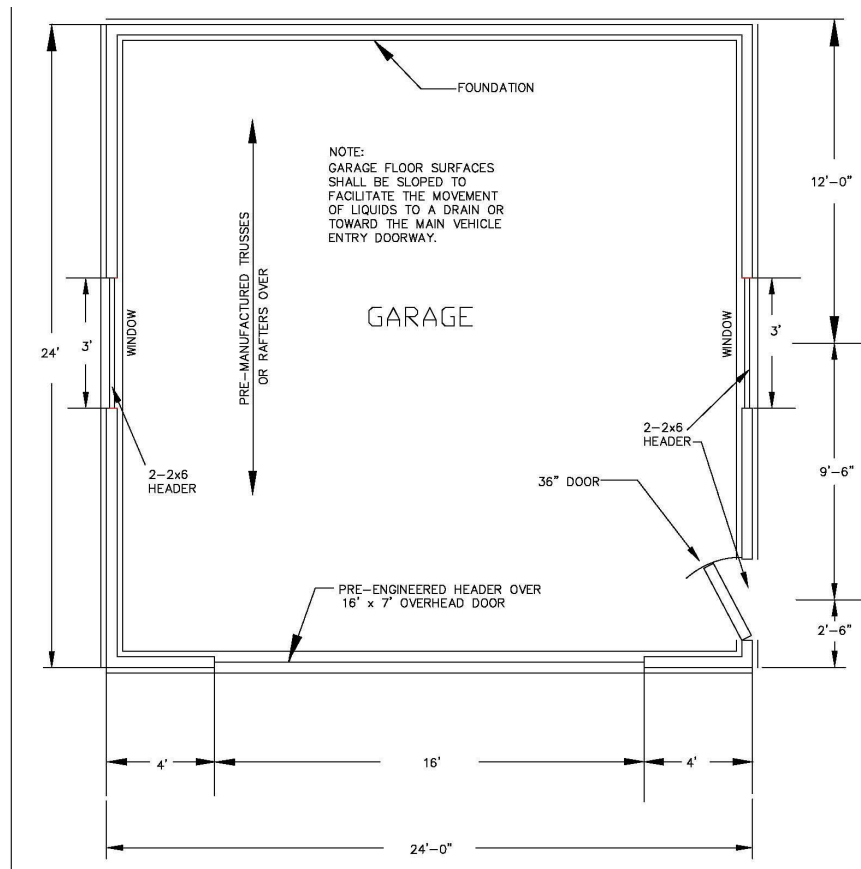
Exterior Elevations: Provide typical exterior elevation views (4-sides typical) of structure (see example at right).

- Show all exterior windows and door locations.
- List all exterior finishes (siding/stucco/brick) and any special features.
- Provide vertical height dimensions from finish grade to finish floor(s), wall heights and roof peaks on each elevation side along with roof pitch slopes and overhang lengths.



Floor Plan: Provide floor layout and dimension all walls and openings.

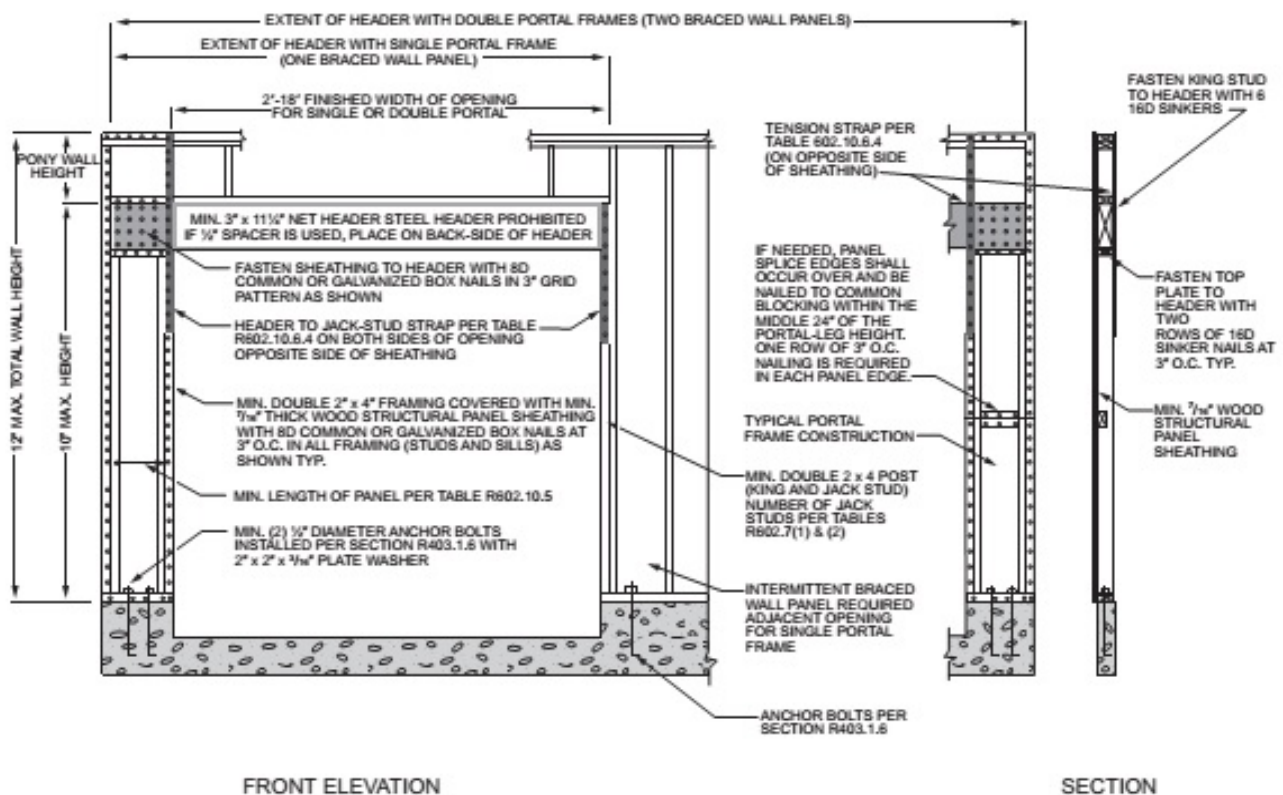
- Provide all window locations, sizes and type (fixed window, slider, casement, etc.).
- Provide all door locations, sizes, types and direction of swing.
- Note all required firewall(s), materials and locations.
- If applicable, show location and size of attic access (min. 22x30).



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Braced Wall Requirement: (R602.10) Wall panels/sections less than 48" wide and adjacent to garage door openings shall use a braced wall method to resist structural racking, overturning, sliding and uplift in high wind events. A variety of individual methods can be used to satisfy the minimum braced wall panel requirements such as Method PFG below:

Where supporting a roof or one story and a roof, a Method PFG *braced wall panel* constructed in accordance with Figure R602.10.6.3 shall be permitted on either side of garage door openings.



Other methods may be utilized depending on the design of the structure.

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Site Plan Requirements: Provide entire property with dimensions of boundaries and north arrow.

Additional site information can be found at the Pottawattamie County Assessor's webpage:

<http://pottco.org/>

ALL OF THESE ITEMS MUST BE SHOWN ON THE SUBMITTED PLOT PLAN:

- Draw property lines and provide lot dimensions to scale.
- Draw locations of existing structures with dimensions to scale.
- Label all structures.
- Provide location and dimensions of proposed accessory structure.
- Provide distances of existing structures and proposed accessory structure to all property lines. **NOTE:** *The curb line is NOT the front property line.*
- Label any adjacent streets.
- Indicate any shoreline or possible flood zones.

